



**Town of Grafton  
Zoning Board of Appeals  
30 Providence Road  
Grafton, MA. 01519**

**508-839-5335 x 1154 - Fax: 508-839-4602**

**E-mail: [koshivosk@graffton-ma.gov](mailto:koshivosk@graffton-ma.gov)**

**Website: [www.graffton-ma.gov](http://www.graffton-ma.gov)**

**Zoning Board of Appeals**

**New Case Notice**

Case Number #

2022 / 887

The Grafton Board of Appeals has received a petition from **NORMAN GERRIE**  
for **1 MARTIN DRIVE** requesting that the Zoning Board of Appeals grant a

**Special Permit**

to allow: **TO REPLACE THE ALUMINUM AWNING OVER THE FRONT STEPS WITH A NEW WOOD AWNING THAT WILL BE 24' OFF THE FRONT SETBACK ON A PRE-EXISTING, NON-CONFORMING STRUCTURE. BOOK: 32126 PAGE: 181**

Map: 35 Lot: 103 Block: 0000

The Board will conduct a Public Hearing on \_\_\_\_\_ at 7:00 PM in Conference Room A, at the Municipal Center, 30 Providence Road, Grafton, MA 01519 to consider this request.

**ZONING BOARD OF APPEALS**

**Brian Waller, Chairman**

**Marianne Desrosiers, Vice Chairman**

**Kay Reed, Clerk**

**William Yeomans, Member**

**William McCusker Member**

**Peter Adams, Alternate**

**Mitali Biswas, Alternate**

RECEIVED TOWN CLERK  
GRAFTON, MA

2022 JUN 13 AM 11:39

**PETITION TO THE ZONING BOARD OF APPEALS  
TOWN OF GRAFTON, MASSACHUSETTS**

DATE: 6/13/22

I/We hereby petition your Board to conduct a public hearing and consider the granting of relief from under hardship resulting from literal enforcement of the protective Zoning Bylaw, by exercising your power to:

(Mark one)

- Review refusal of Selectman or others to grant a permit
- Grant a **VARIANCE** from the terms of the Zoning Bylaw, SECTION \_\_\_\_\_.
- Grant a **SPECIAL PERMIT** for a specific use which is subject to the approval of your Board.

FOR LAND/BUILDINGS AT 1 Martin Dr.

**TO ALLOW:**

Replace aluminium awning over front steps with a new wood awning that will be 24' off the front set-back on a pre-existing, Non-Conforming structure.

Please complete this entire section:

Location of property: \_\_\_\_\_ Tax Plan # 35 Plot # 103  
 Zoning District in which the property is located: R20  
 Title of Property in name of: Norman & Diane Geerie  
 Whose address is: 1 Martin Dr.  
 Deed recorded in Book # 32126, Page # 181  
 Plan Book # \_\_\_\_\_, Plan # \_\_\_\_\_  
 Signature of Petitioner: [Signature]  
 Print Name Norman Geerie  
 Address of Petitioner: 1 Martin Dr - N. Grafton - 01536  
 Phone Number of Petitioner: 508-839-5895

X NGERRIE@GMAIL.COM

# 1 MARTIN DRIVE

**Location** 1 MARTIN DRIVE

**Mblu** 035.0/ 0000/ 0103.0/ /

**Acct#** 110035000001030

**Owner** GERRIE NORMAN

**PBN**

**Assessment** \$352,300

**Appraisal** \$352,300

**PID** 1602

**Building Count** 1

## Current Value

Appraisal			
Valuation Year	Improvements	Land	Total
2022	\$230,200	\$122,100	\$352,300

Assessment			
Valuation Year	Improvements	Land	Total
2022	\$230,200	\$122,100	\$352,300

## Owner of Record

**Owner** GERRIE NORMAN  
**Co-Owner** GERRIE DIANE  
**Address** 1 MARTIN DRIVE  
N GRAFTON, MA 01536

**Sale Price** \$266,500  
**Certificate**  
**Book & Page** 32126/181  
**Sale Date** 10/31/2003  
**Instrument** 00

## Ownership History

Ownership History					
Owner	Sale Price	Certificate	Book & Page	Instrument	Sale Date
GERRIE NORMAN	\$266,500		32126/181	00	10/31/2003

## Building Information

### Building 1 : Section 1

**Year Built:** 1955  
**Living Area:** 1,584  
**Replacement Cost:** \$309,123  
**Building Percent Good:** 73

Replacement Cost  
Less Depreciation:

\$225,700

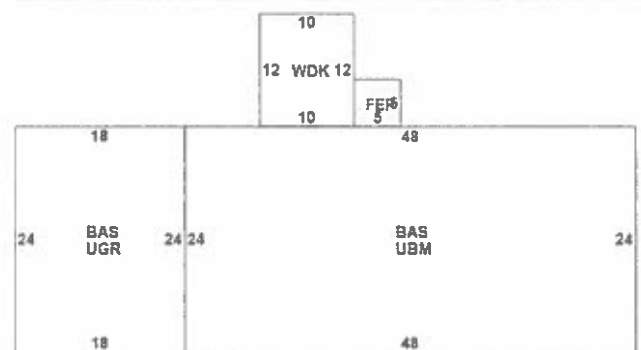
Building Attributes	
Field	Description
Style	Ranch
Model	Residential
Grade	Average
Stories	1.00
Occupancy	1
Exterior Wall 1	Vinyl Siding
Exterior Wall 2	
Roof Type	Gable/Hip
Roof Cover	Asph/F Gls/Cmp
Interior Wall 1	Drywall/Sheet
Interior Wall 2	
Interior Floor 1	Hardwood
Interior Floor 2	Carpet
Heat Fuel	Gas
Heat Type	Hot Water
AC Type	Central
Bedroom(s)	3
Full Bath(s)	2
Half Bath(s)	1
Extra Fixture(s)	0
Total Rooms	7
Bathroom Quality	Modern
Kitchen Quality	Modern
Extra Kitchen(s)	0
Interior Condition	Average
Exterior Condition	Average
Foundation	Concrete
Bsmt Garage Cap	1
Gas Fireplaces	0
Stacks	2
Fireplaces	1
Basement Area	1440.00
Fin Bsmt Area	933
Fin Bsmt Grade	BG Average
Basement Type	Full
Fndtn Cndtn	
Basement	

Building Photo



([https://images.vgsi.com/photos/GrafiomAPhotos/A0014\001\\_14447.JPG](https://images.vgsi.com/photos/GrafiomAPhotos/A0014\001_14447.JPG))

Building Layout



(ParcelSketch.ashx?pid=1602&bid=1602)

Building Sub-Areas (sq ft)			Legend
Code	Description	Gross Area	Living Area
BAS	First Floor	1,584	1,584
FEP	Framed Encl Porch	25	0
UBM	Unfin Bsmnt	1,152	0
UGR	Below Grade Garage	432	0
WDK	Wood Deck	120	0
		3,313	1,584

**Extra Features**

Extra Features	<u>Legend</u>
No Data for Extra Features	

**Land**

Land Use		Land Line Valuation	
Use Code	1010	Size (Acres)	0.28
Description	Single Family	Frontage	
Zone	R2	Depth	
Neighborhood	2.2	Assessed Value	\$122,100
Alt Land Appr	No	Appraised Value	\$122,100
Category			

**Outbuildings**

Outbuildings						<u>Legend</u>
Code	Description	Sub Code	Sub Description	Size	Value	Bldg #
WDK	WOOD DECK			60.00 SF	\$1,000	1
SHD1	SHED FRAME			80.00 S.F.	\$1,100	1
SPL5	ABOVE GR OVAL			448.00 S.F.	\$2,400	1

**Valuation History**

Appraisal			
Valuation Year	Improvements	Land	Total
2021	\$227,000	\$111,000	\$338,000
2020	\$224,800	\$111,000	\$335,800
2019	\$179,900	\$107,700	\$287,600

Assessment			
Valuation Year	Improvements	Land	Total
2021	\$227,000	\$111,000	\$338,000
2020	\$224,800	\$111,000	\$335,800
2019	\$179,900	\$107,700	\$287,600



**TOWN OF GRAFTON**  
 GRAFTON MEMORIAL MUNICIPAL CENTER  
 30 PROVIDENCE ROAD  
 GRAFTON, MASSACHUSETTS 01519  
 (508) 839-5335 ext 1170 • FAX: (508) 839-4602  
 www.grafton-ma.gov

TREASURER / COLLECTOR

## Certificate of Good Standing

Applicants seeking permits with the Town of Grafton must submit this completed form at the time of application. When all obligations are paid to date, you must attach this "Certificate of Good Standing," with your application. Delinquent bills must be paid in full before the appropriate department accepts your application. Please make arrangements to pay these outstanding bills at the Collector's Office.

Please note: it can take up to three (3) business days to process each request.

Please check all that apply and indicate if permit(s) have been issued.

	Permit Issued?			Permit Issued?	
	Yes	No		Yes	No
<input type="checkbox"/> Building - Inspection(s)	_____	_____	<input type="checkbox"/> Septic System	_____	_____
<input type="checkbox"/> Building - Electric	_____	_____	<input type="checkbox"/> Conservation	_____	_____
<input type="checkbox"/> Building - Plumbing	_____	_____	<input type="checkbox"/> Planning	_____	_____
<input type="checkbox"/> Board of Health	_____	_____	<input type="checkbox"/> Other	_____	_____

Other Permit: \_\_\_\_\_

\_\_\_\_\_  
 Petitioner Name Norman & Diane Gerrie  
 Property Owner / Applicant

\_\_\_\_\_  
 Petitioner Address 1 Martin Dr.  
 Property Address

\_\_\_\_\_  
 City, State, Zip N Grafton, MA 01534  
 City, State, Zip

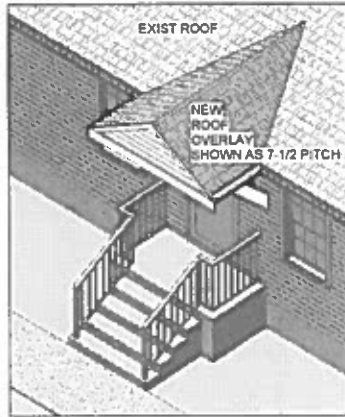
\_\_\_\_\_  
 Phone

Date:	Current	Delinquent	N/A
Real Estate	✓		
Personal Property			✓
Motor Vehicle Excise	✓		
Disposal	✓		
General Billing			✓

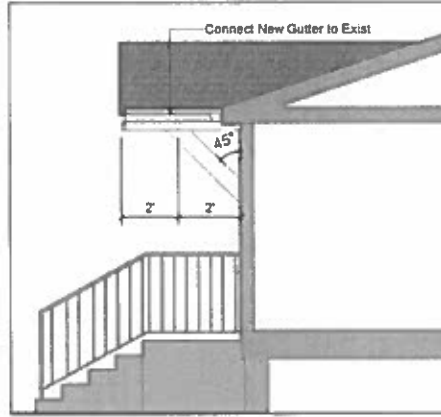
Beth Schmitt \_\_\_\_\_  
 Treasurer / Collector Signature Date 01/13/2022



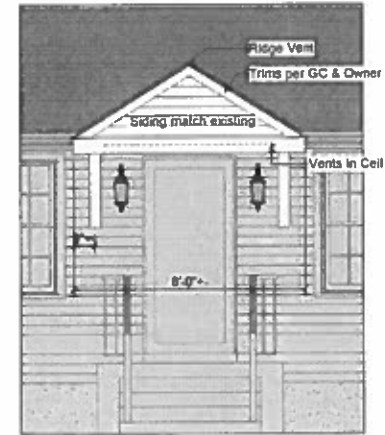
1 EXISTING  
1/4" = 1'-0"



2 Aerial Front-Right  
1/4" = 1'-0"



3 Right  
1/4" = 1'-0"



4 Front  
1/4" = 1'-0"

**STRUCTURAL NOTES:**

- GENERAL:**  
 1) CONFORM TO MASSACHUSETTS STATE BUILDING CODE, CURRENT EDITION  
 2) VERIFY EXISTING CONDITIONS AND PROPOSED DIMENSIONS PRIOR TO ORDERING MATERIAL OR CONSTRUCTING

- TEMPORARY SHORING & BRACING:**  
 1) DESIGN AND INSTALLATION IS RESPONSIBILITY OF CONTRACTOR

**WOOD:**  
 DIMENSION LUMBER. S PRUCE-PINE FIR #2, KILN-DRIED 19% MAX MOISTURE  
 PLATE-LAPS 4" TO 8"

PT WOOD SOUTHERN YELLOW PINE #1

ENGINEERED LUMBER, BOISE CASCADE  
 LVL'S ARE VL 2.1 3100 SP  
 FOLLOW MANUF. DETAILS & RECOMMENDATIONS  
 LAP PLIES SO AS NOT TO CREATE BUTTED BEAMS  
 GLUE & SCREW LAPS WITH  
 PLY-TO-PLY FULL-DEPTH SDS'S @16" STAGGERED  
 JOISTS PROTECTED BY GYPSUM OR EDGAL  
 COATED-PROTECTION BY MANUF.

FLOOR SHEATHING 3/4" T&G APA RATED PANELS "STURDI-FLOOR"  
 OR ADVANTECH STAGGERED, GLUED & SCREWED

WALL SHEATHING 1/2" EXPOSURE-1 APA RATED PLYWOOD,  
 STAGGERED & EDGE-BLOCKED.

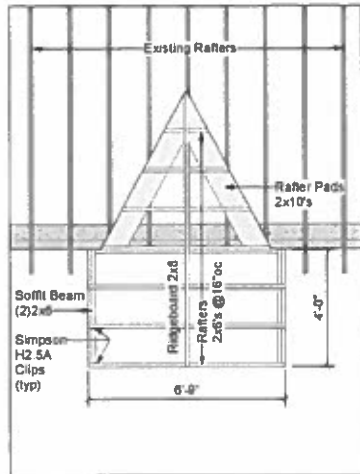
ROOF SHEATHING 5/8" APA RATED PLYWOOD SHEATHING,  
 STAGGERED & EDGE-BLOCKED

- OTHER**
- ADD JOIST WHERE UNDER PARALLEL-RUNNING BEARING WALL
  - SOLID BLOCK BETWEEN JOISTS UNDER BEARING WALL OR OVER BEAM
  - SOLID BLOCK UNDER POSTS, WITH LIKE MATERIAL
  - SOLID BLOCK BETWEEN RAFTER TIES & JOISTS THAT DO NOT PAR UP EXACTLY. OR USE HOLD-DOWNS
  - SIMPSON GALV JOIST HANGERS ALL JOISTS
  - SIMPSON GALV HURRICANE HOLD-DOWNS ALL RAFTERS

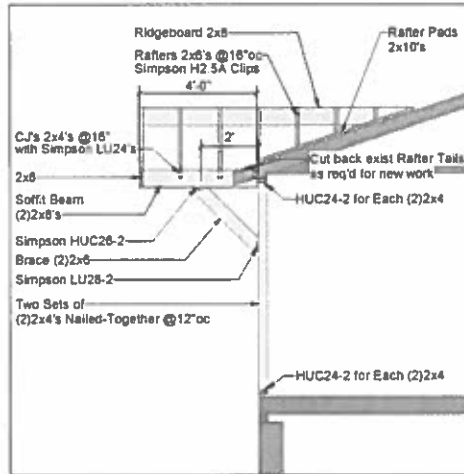
- TYPICAL ROOF SECTION:**
- 30-Year Architectural Asphalt Shingles
  - Blading Paper
  - 5/8" Rated Sheathing
  - Rafters per Structural

**GRACE ICE & WATER SHIELD:**

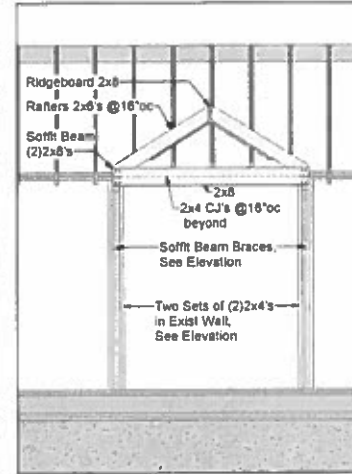
- Soffits, 2 Rows
- Rakes, 1 Row
- Valleys, 1 Row
- Dormers, Cover
- Roof-to-Wall, 1 Row as follows:
  - 1' along Roof, 2' up Wall



5 Roof Framing  
1/4" = 1'-0"



6 Right  
1/4" = 1'-0"



7 Front  
1/4" = 1'-0"

GREY = EXIST  
 COLOR = NEW OR MODIFIED

Gerrie Residence  
 1 Martin Drive, Grafton MA

A5 -24x36

Date 5/28/19

Scale 1/4" = 1'-0"

NARLEE DESIGN  
 43 George Street, #1  
 Norwood, MA 02062  
 781-710-0329  
 design@nar-lee.com

# Plan Review Checklist On-Line Submission

\*\*\*\*\*important information below\*\*\*\*

1. this application needs special relief from ZBA as outline Zoning Determination Form
2. construction documents are incomplete as outline In Plan Review Checklist On-line Submission form
3. mailed 1st class mail

The following symbols indicate in this plan review items have been satisfied for the purpose of plan review. X ✓

If section states "complete" that indicates that section is satisfied move to next section.

If unchecked that item needs to be addressed.

Property Address: 1 MARTIN DRIVE (BP 21 729) 508-839-5895

Review by: Robert S. Berger

Review Date Started: 2/28/2022 Completed Review Date 2/28/2022

E-Mail Address \_\_\_\_\_ Phone Number \_\_\_\_\_

Permit Application Denied

Approved as submitted

Approved as noted

Resubmit with requested information for approval

## Project Information: complete

- ✓ Type of Proposed Work
- ✓ Market or Affordable
- ✓ Is Owner doing the Work

- ✓ Property Type
- ✓ Total Number of Dwellings
- ✓ Brief Description of Proposed Work

## Site Information: complete

- ✓ Lot Area
- ✓ Frontage
- ✓ Zoning Overlay District
- ✓ Flood Zone Designations

- ✓ Water Supply
- ✓ Sewage Disposal system
- ✓ Zoning District
- ✓ Flood Zone Information

✓ Construction Type  
incomplete as stated in  
section 10

## Conservation: complete

- ✓ Within 100ft of wetland
- ✓ Within 100ft of pond
- ✓ Within 200ft of a stream

- ✓ Within 100ft of brook
- ✓ Within 100ft of waterway

## Structure Setbacks: complete

- ✓ Required Front Yard Setbacks
- ✓ Required Right Side Yard Setbacks
- ✓ Required Left Side Yard Setbacks
- ✓ Required Rear Yard Setbacks

- ✓ Provided Front Yard Setbacks
- ✓ Provided Right Side Yard Setbacks
- ✓ Provided Left Side Yard Setbacks
- ✓ Provided Rear Yard Setbacks

## Construction Details: complete

- o # Bedrooms
- o # Garage
- o Finished Basement s.f.
- o Occupancy Load 3rd Floor
- o Unfinished Bsmt s.f.
- o 2nd floor s.f.
- o Occupancy Load 2nd Floor
- o Other Space s.f
- o Occupancy Load Other Space

- o # Floor
- ✓ Total Decks & Porches s.f.
- o 3rd Floor s.f.
- o 1st Floor s.f.
- o Occupancy Load 1st Floor
- ✓ Building Code Edition
- o Garage s.f.
- o Subdivision Name
- ✓ Sprinkler System

## Estimated Construction Cost: complete

- ✓ Building
- ✓ Plumbing
- ✓ Fire Protection
- ✓ Electric
- ✓ Mechanical (HVAC)
- ✓ Total Estimated Cost



**Registered Home Improvement Contractor:** N/A owner applying for permit

- Contractor's Name
- Business Name
- Registration #
- Registration Expiration Date
- Mailing Address
- Preferred Telephone #
- Email

**License Construction Supervisor:** N/A owner applying for permit

- Name
- Mailing Address
- Phone #
- Email
- License #
- Expiration Date

**Homeowner License Exemption:** complete

- Name Homeowner
- Phone #
- Homeowner Signature

complete

### **Required Information to be present on Certified Plot Plan**

**\*May be required for on-ground pools, please check with the Building Inspector**

#### **4. Plot Plan §R107.2 (separate from building plans) required for additions and accessory buildings and in-ground pools some on-ground pools to include;**

- ✓ This plan shall be prepared by an Engineer or Registered Land Surveyor in accordance with the Massachusetts Registration Laws, and submitted to the Inspector of Buildings prior to framing
- ✓ Location of existing and proposed construction with dimensioned setbacks
- ✓ Location of lot lines, dimensions of lot & frontage
- ✓ Property address: map & lot number, zoning district & overlays (if in Water Supply Protection Overlay District MUST include calculation on impervious conditions as per ZBL 7.5.E)
  - o Statement that the lot and proposed building shown on this plan is located on the ground as shown and does, does not conform to the present zoning bylaws.
- ✓ Statement that existing condition does / does not lie within a Flood Hazard Zone as shown on the F.E.M.A map of the Town of Grafton
- ✓ Septic System location with reserve area
- ✓ Well location if applicable
- ✓ Wetland delineation if applicable
- ✓ North Arrow
- ✓ Drawing scale
- ✓ Date of Document
- ✓ Location & dimensions of public easements, public utility easements, railroad right-of-ways, and established zoning setback requirements.
- ✓ Location & dimensions of primary & accessory buildings & structure also street access drives and walks or other conditions rendering the land surface impervious  
Grading plan must include the existing grading of the lot (direction of water flow) and proposed grading after completion
- ✓ §R403.1.7.2 Foundation Clearance from Slopes
- ✓ New detached one- and two-family dwellings, and multiple single-family dwellings (townhouses) with not less than 600 ft<sup>2</sup> (55.74 m<sup>2</sup>) of roof area oriented between 110° and 270° of true north must be labeled on plot plan as solar ready zone.

#### **The Plan Submitted to Have**

- Original Seal (wet seal)
- Original signature

6. **Electronic set of plans and specifications showing the proposed work**

[Empty box]

7. **Construction Drawings**

Cover Sheet

complete

- Address with Assessor Map and Parcel
- Date of latest revision
- Tabulated Square Foot Area of all proposed renovation (and spaces if applicable)

8. **Construction documents (1/4" scale minimum)**

complete

- Floor Plan area of work is being performed
- Building dimensions
- Exterior building elevations all sides to include final grade
- Identify egress path
- Doors and windows must include manufacturers specifications cut-sheets on each type

9.

**Framing plan** incomplete all unchecked information listed below

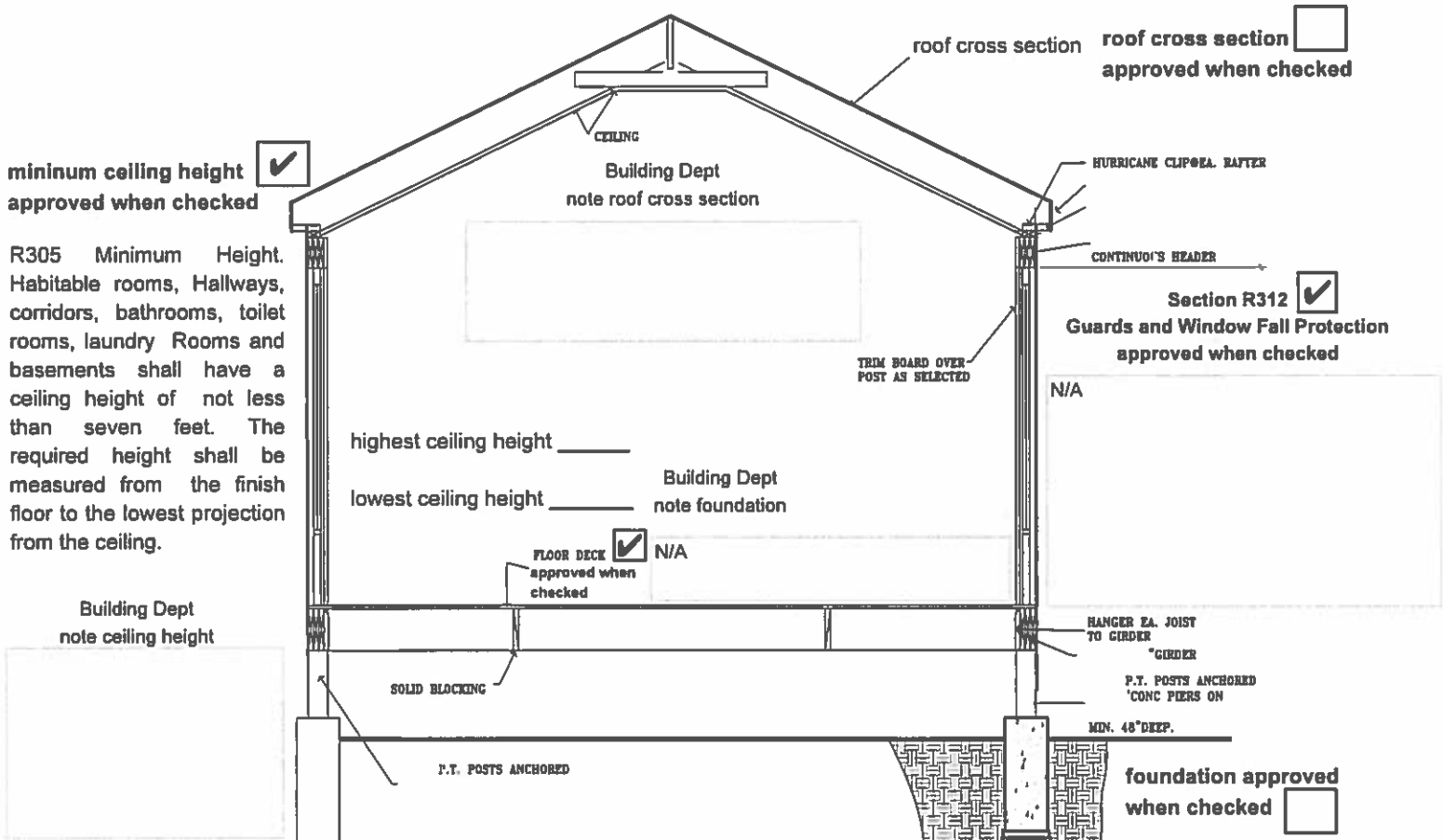
no framing plan was submitted with application

- Conventional framing plan all levels all sides including roof, showing size, spacing and direction of structural members
- Conventional header and beam sizes, spans and bearing clearly showing load path to foundation
  
- Provide fastening schedule as depicted in table R602.3 (1)
  
- Engineered manufactured beams and columns stamped by a registered professional engineer in the Commonwealth of Massachusetts. Calculations shall be site specific verifying they generated the loads indicated and that the input and output data provided is site specific to include verification of load path and column adequacy to foundation...disclaimers of any kind shall be rejected..

10. **Foundation Plan** incomplete all unchecked information listed below

no foundation plan was submitted with application

- Show dimensions and location of all footings, pads and columns
- Footing sections and elevations where steps are intended
- Show size and location of all steel reinforcement bars if applicable
- Wall height and thickness with concrete PSI rating
- Anchor bolt size, spacing and embedded depth
- Show basement/crawl space ventilation method
- Show basement/crawl space access size and location
- Foundation hold-down devices type and location when used with the alternative braced wall panels for braced wall requirements as allowed by FIGURE R602.10.3.2
- Location and framing size of all cripple walls, with detail of walls less than 14 inch stud height
- Passive Radon Control detail & shall indicate pathways for routing of conduit
- Location of foundation drain exhaust or sump pit...drainage exclusion exception must be approved by building official §R405
- Vapor Retarder detail as per §R405.2.2 A 6 mil thick (0.15 mm) polyethylene vapor retarder
- Demonstrate compliance with section §R403.1.7.2 Foundation Clearance from Slope
- Slab-on-Grade Floors 2015 IECC/IRC Section R402.2.10/1102.2.10



minimum ceiling height  approved when checked

R305 Minimum Height. Habitable rooms, Hallways, corridors, bathrooms, toilet rooms, laundry Rooms and basements shall have a ceiling height of not less than seven feet. The required height shall be measured from the finish floor to the lowest projection from the ceiling.

Building Dept note ceiling height

Section R312  Guards and Window Fall Protection approved when checked

foundation approved when checked

R403.1.4 Minimum depth. Exterior footings shall be placed not less than 12 inches (305 mm) below the undisturbed ground surface. Where applicable, the depth of footings shall also conform to Sections R403.1.4.1 through R403.1.4.2.

R403.1.4.1 Frost protection. Except where otherwise protected from frost, foundation walls, piers and other permanent supports of buildings and structures shall be protected from frost by one or more of the following methods:

1. Extended below the frost line specified in Table R301.2.(1).

Building Dept note design criteria incomplete design criteria not labeled on plan

Building Dept note foundation incomplete as stated in section 10

Ground Snow Load	Wind Speed (mph)	Selsmic Design	Weathering	Frost Line Depth	Termite	Decay	Winter Design Temp	Ice Shield Underlayment Required	Flood Hazard	Air Freezing Index	Mean Annual Temp
Table 5301.2 (5)	Table 5301.2.(4)	N/A	Figure 5301.2 (3)	4ft. minimum unless engineered data shows otherwise	Figure 5301.2 (6)	Figure 5301.2 (7)	Appendix 780 CMR 120.J Table 120.J.3.2.1	As required by the exterior roof covering manufacturer; roof pitch and local climate must also be considered	Refer to applicable Flood Insurance Rate Map (FIRM)	Only utilized in the design and construction of frost protected shallow foundations	Only utilized in the design and construction of frost protected shallow foundations
50 psf	126 mph	NA	Severe	§5403.1.4	Moderate to Heavy	Slight to Moderate	NA	§5905.0	FIRM MAPS	Sec note J Table 5301.2(1)	Sec note K Table 5301.2(1)

please provide  
fastening schedule as  
depicted in table  
R602.3 (1)

fastening schedule   
approved when checked

Building Dept  
note fastening schedule  
post and beam  
incomplete as stated in  
section 9

POST AND  
BEAM

SLOPE

INDICATE SIZE  
AND SPACING OF  
ROOF RAFTERS

INDICATE  
CONNECTION  
OF ROOF  
RAFTER TO  
HOUSE

Building Dept  
note connection of roof to  
house  
incomplete as stated in section 9

INDICATE  
CONNECTION  
OF FLOOR JOISTS  
TO HOUSE

METAL ANCHORS  
FOR WIND UPLIFT

Building Dept  
note roof cross section  
including slop

Note: Other approved foundation  
systems may be substituted.

Specify girder & header for roof if using engineered lumber must be stamped by a professional registered engineer in the Commonwealth of Massachusetts

Girder and Headers Supporting Roof  
Ground Snow Load \_\_\_\_\_ Size \_\_\_\_\_  
Span Between Support \_\_\_\_\_

**girders & header roof approved when checked**

Building Dept  
note header supporting roof

incomplete as stated in section 9

Specify girder & header floor if using engineered lumber must be stamped by a professional registered engineer in the Commonwealth of Massachusetts

Girder and Headers Supporting Floor  
Ground Snow Load \_\_\_\_\_ Size \_\_\_\_\_  
Span Between Support \_\_\_\_\_

**girders & header floor approved when checked**

Building Dept  
note header supporting floor

incomplete as stated in section 9

Specify floor construction method and material (if using composite decking must submit ICC evaluation report and install manual)

type of species proposing \_\_\_\_\_  
floor joist size \_\_\_\_ X \_\_\_\_ and spacing \_\_\_\_ on center  
length of joist \_\_\_\_ feet \_\_\_\_ inches

**floor construction approved when checked**

Building Dept  
note floor construction

N/A

roof construction  
type of species and grade \_\_\_\_\_  
roof rafter span \_\_\_\_ 'X \_\_\_\_ "and spacing \_\_\_\_ " on center  
dead load \_\_\_\_\_ pound per square foot  
live load \_\_\_\_\_ pound per square foot

**roof construction approved when checked**

Building Dept  
note roof construction

incomplete as stated in section 9

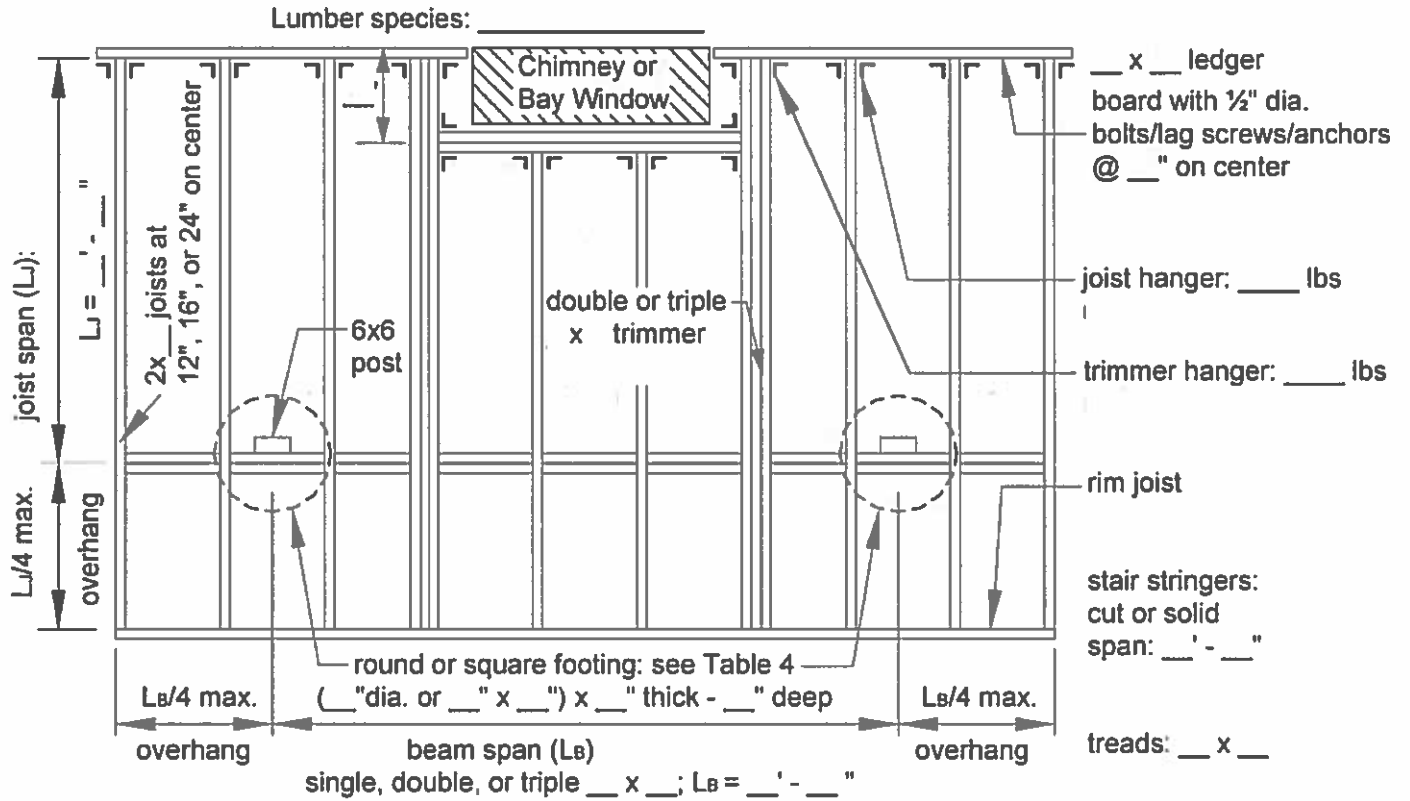
## CHECKLIST FOR APPLICATION CHECKLIST

- Owner's Authorization Form Completed
- Signed contract between homeowner and the registered home-improvement-contractor-subject to MGL c-142
- ~~In lieu of submitting a signed contract as the owner of record, the owner shall submit Signed Affidavit for Home-Improvement-Contractor Required Contract Terms~~
- 4. Electronic Set of plans for the building or structure incomplete as stated in review
- Mechanical-Application (if applicable)
- ~~Smoke-Detector-Application, Sprinkler-install-approval-from-The-Fire-Department~~
- ~~Copies-of-Variances-or-Special-Permits-Granted-by-The-Planning-Board-or-Zoning-Board-of-Appeals-or-any-other-Town-Boards~~
- Worker's Compensation Certificate
- ~~Insurance-Binder-from-Insurance-Company-made-out-to-the-Town~~
- Homeowner License Exemption (If applicable)
- Copy of Construction Supervisor License
- Copy of Home-Improvement-Registration (If applicable)
- Statement for disposal of debris (If applicable)
- Massachusetts Energy-Compliance-Report
- Site Plan prepared by Engineer or Registered Land Surveyor showing location of buildings or structure to lot lines also proposed location of new structures as per 780 CMR 110.10

Any person who is aggrieved by an interpretation, order, requirement, direction or failure to act by any state or local agency or official charged with the administration or enforcement of the State Building Code (780 CMR) or any of its rules and regulations, may file an appeal with the Building Code Appeals Board as prescribed in M.G.L. c. 143, §100

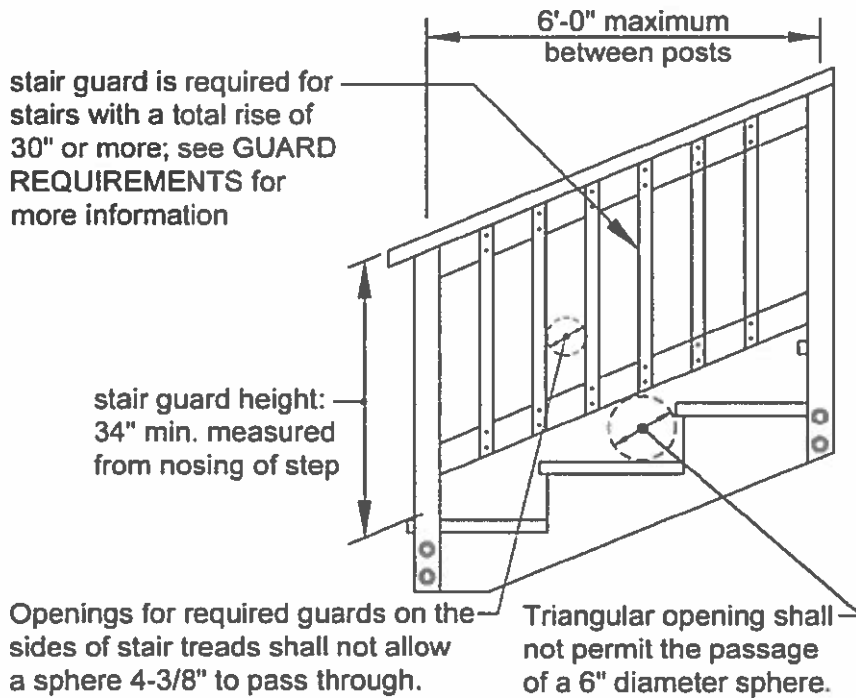
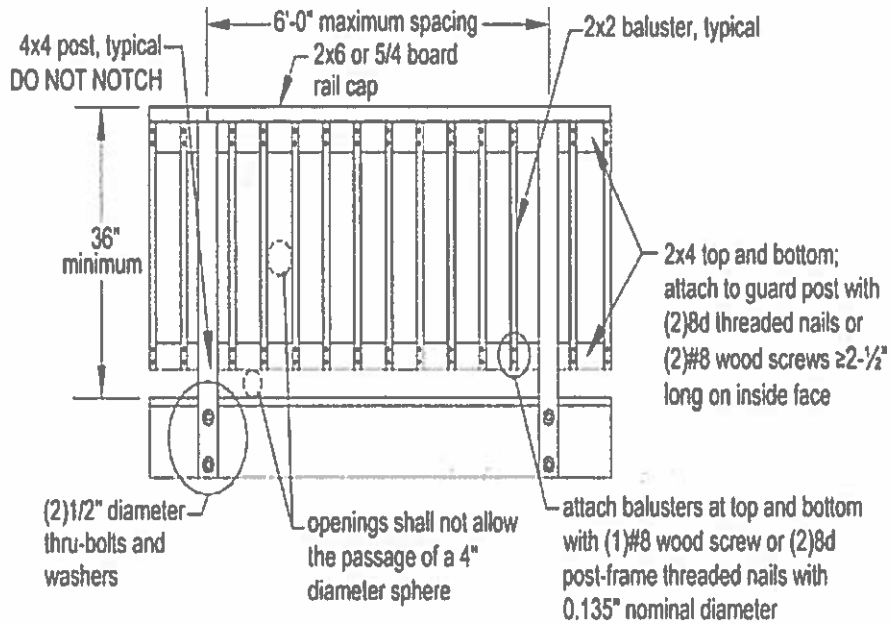
Grafton Zoning By-Law Section 1.3.6.2 Any person aggrieved by reason of his inability to obtain a permit or enforcement action from the Inspector of Buildings or other administrative officer under the provisions of this By-Law, or any person including an officer or board of the Town, aggrieved by an order of decision of the Inspector of Buildings, or other administrative officer, in violation of the provisions of Chapter 40A of the General Laws or any provision of this By-Law, may file an appeal in accordance with the provisions of Chapter 40A of the General Laws

# Sample Floor Construction Plan





# Sample Guard & Stair Construction Plan





**TOWN OF GRAFTON**  
 GRAFTON MEMORIAL MUNICIPAL CENTER  
 30 PROVIDENCE ROAD  
 GRAFTON, MASSACHUSETTS 01519  
 (508) 839-5335 x1190 • FAX (508) 839-4602  
 www.grafton-ma.gov

**ZONING DETERMINATION  
 TO BE COMPLETED BY APPLICANT**

NAME \_\_\_\_\_  
 STREET \_\_\_\_\_ CITY/TOWN \_\_\_\_\_  
 STATE MA ZIP \_\_\_\_\_ TELEPHONE \_\_\_\_\_  
 NAME OF PROPERTY OWNER (if different from Applicant) \_\_\_\_\_

**SITE INFORMATION**

STREET AND NUMBER 1 MARTIN DRIVE  
 ASSESSOR'S MAP(S) 110035000001030  
 LOT SIZE .28 AC FRONTAGE 97 FEET  
 CURRENT USE SINGLE FAMILY DWELLING  
 PROPOSED USE CONSTRUCTION OF COVER PORCH (DOG HOUSE) OVER FRONT DOOR

**TO BE COMPLETED BY THE ZONING ENFORCEMENT OFFICER**

The project is zoned (check all that apply)

- |   |   |  |
|---|---|--|
| <input type="checkbox"/> A - Agricultural                       | <input type="checkbox"/> RMF - Residential Multi-Family | <input type="checkbox"/> I - Industrial                |
| <input type="checkbox"/> R40 - Residential 40,000 sf            | <input type="checkbox"/> NB - Neighborhood Business     | <input type="checkbox"/> OLI - Office / Light Industry |
| <input checked="" type="checkbox"/> R20 - Residential 20,000 sf | <input type="checkbox"/> ICB - Community Business       | <input type="checkbox"/> FP - Flood Plain              |

Overlay Districts

- |  |  |
|--|--|
| <input type="checkbox"/> WSPO - Water Supply Protection Overlay District | <input type="checkbox"/> FSGOD - Fisherville Smart Growth Overlay District |
| <input type="checkbox"/> CDO - Campus Development Overlay District       | <input type="checkbox"/> PDSOD - 43D Priority Development Overlay District |

The proposed use is:

- Permitted in the zone(s)  
 Conditionally permitted in the zone(s)  
 Not permitted in the zone(s)

As per the submitted certified site plan by Land Planning Inc. dated 9/13/21 the location of the covered roof would be in violation of our Zoning By-Laws section 3.2.3.2. Intensity of Use Schedule. The setbacks are 30 feet from front property line, site plan is showing 24 feet. Therefore I must deny your building permit application.

The proposal must be heard by the following Board:

- Planning Board  
 Special Permit  
 Site Plan Approval Only  
 Other \_\_\_\_\_  
 Zoning Board of Appeals

ZBL Section 3.4.3.5 Pre-existing nonconforming structures or uses may be extended, altered, or changed only by special permit, provided that no such extension, alteration, or change shall be permitted unless the Zoning Board of Appeals finds that such extension, alteration, or change will not be substantially more detrimental than the existing nonconforming use to the neighborhood.

Zoning Enforcement Officer Robert D Beray Date: 2/28/2022

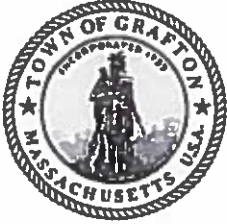
Grafton Zoning By-Law Section 1.3.6.2 Any person aggrieved by reason of his inability to obtain a permit or enforcement action from the Inspector of Buildings or other administrative officer under the provisions of this By-Law, or any person including an officer or board of the Town, aggrieved by an order of decision of the Inspector of Buildings, or other administrative officer, in violation of the provisions of Chapter 40A of the General Laws or any provision of this By-Law, may file an appeal in accordance with the provisions of Chapter 40A of the General Laws.



RECEIVED

JUN 09 2022

GRAFTON ASSESSORS



TOWN OF GRAFTON  
GRAFTON MEMORIAL MUNICIPAL CENTER  
30 PROVIDENCE ROAD  
GRAFTON, MASSACHUSETTS 01519  
508-839-5335 ext 1165 • FAX 508-839-4602  
www.grafton-ma.gov

BOARD OF ASSESSORS

RECEIVED TOWN CLERK  
GRAFTON, MA  
2022 JUN -9 PM 4:08

### Request for Abutters List

Date of Request: \_\_\_\_\_ Date List Needed: \_\_\_\_\_  
Requested by: Katrina Zaga Phone: x 1157  
Name of Property Owner: Norman & Diane Gerrie  
Street Address of Property: 1 MARTIN DR. N. Grafton, MA 01519  
Map: 35 Block: 000 Lot: 103

#### REASON FOR LIST:

Hearing before Zoning Board of Appeals Yes  No   
Hearing before Planning Board Yes  No   
Hearing before Conservation Commission Yes  No

Other: \_\_\_\_\_

#### REASON FOR HEARING - (please check one)

Variance  Scenic Road  Title 5  Special Permit  Subdivision

Other: \_\_\_\_\_

#### RADIUS FOR ABUTTERS - (please check one)

Immediate  300 Feet  Upon, along, across or under: \_\_\_\_\_

#### LABELS

Two (2) Sets of Labels are provided with abutters lists unless otherwise specified.

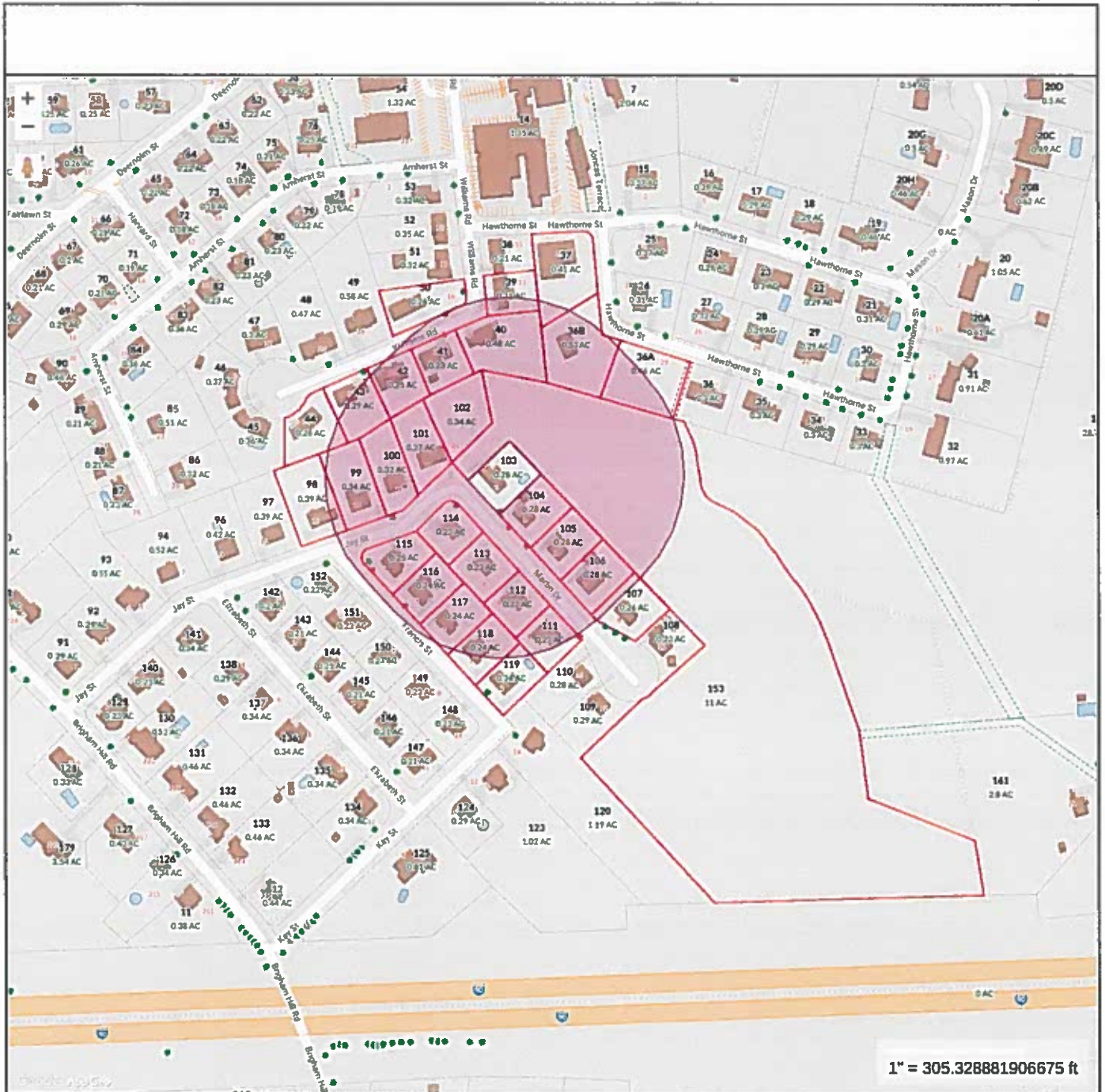
Other: \_\_\_\_\_ set(s) needed.

#### Office Use Only

Date List Prepared: \_\_\_\_\_ Address Labels Prepared: \_\_\_\_\_

Fee Charged: \$ 25.00 Amt. Paid: \$ \$25.00 Date: 6/9/22

Check: # 5001 Cash: \$ \_\_\_\_\_ Money Order: \$ \_\_\_\_\_



**MAP FOR REFERENCE ONLY  
NOT A LEGAL DOCUMENT**

Town of Grafton, MA makes no claims and no warranties, expressed or implied, concerning the validity or accuracy of the GIS data presented on this map.

Geometry updated 3/23/2021  
Data updated 3/23/2021

Print map scale is approximate. Critical layout or measurement activities should not be done using this resource.

PARCEL ID	Address	Owner 1	Owner 2	Address	City	St	Zip	BK	PG
035 0-0000-0036 A	31 HAWTHORNE STREET	ATCHUE JOHN P		P.O. BOX 627	N GRAFTON	MA	01536	27292	349
035 0-0000-0036 B	31 HAWTHORNE STREET	ATCHUE JOHN P		P.O. BOX 627	N GRAFTON	MA	01536	27292	334
035 0-0000-0037.0	29 HAWTHORNE STREET	SAMARA DAVID & KOTOSKY SHERRI-ANN	SANDRA, SAMARA	4 FOREST HILL DRIVE	SHREWSBURY	MA	01545	59590	24
035 0-0000-0039.0	13 WILLIAMS ROAD	ROOD MICHELE		13 WILLIAMS ROAD	N GRAFTON	MA	01536	43187	160
035 0-0000-0040.0	15 WILLIAMS ROAD	GREENHALGE KEVIN A	FORD EMILY T	15 WILLIAMS ROAD	N GRAFTON	MA	01536	52824	29
035 0-0000-0041.0	17 WILLIAMS ROAD	SULLIVAN BRIAN	SULLIVAN CHRISTINA	17 WILLIAMS ROAD	N GRAFTON	MA	01536	29020	190
035 0-0000-0042.0	19 WILLIAMS ROAD	KIESINER CAROL A TRUSTEE	CAKF TRUST	13 OAKES CIRCLE	MILLBURY	MA	01527	60501	365
035 0-0000-0043.0	21 WILLIAMS ROAD	DUBOIS DAVID W	DUBOIS RHONDA M	21 WILLIAMS STREET	N GRAFTON	MA	01536	41476	144
035 0-0000-0044.0	23 WILLIAMS ROAD	URBAN JOHN	URBAN ELAINE	23 WILLIAMS ROAD	N GRAFTON	MA	01536	32142	11
035 0-0000-0050.0	16 WILLIAMS ROAD	BUTLER NATHAN	BUTLER JENNIFER	16 WILLIAMS ROAD	N GRAFTON	MA	01536	51045	166
035 0-0000-0098.0	13 JAY STREET	STELMACH JOHN P	STELMACH JANE M	13 JAY STREET	N GRAFTON	MA	01536	31614	32
035 0-0000-0099.0	15 JAY STREET	THOMAS EDWARD S & HELEN L TRUSTESS	THOMAS FAMILY LIVING TRUS	15 JAY STREET	N GRAFTON	MA	01536	17961	228
035 0-0000-0100.0	17 JAY STREET	WHISENANT JONAKARINA C F	WHISENANT JAMES R	17 JAY STREET	N GRAFTON	MA	01536	21149	72
035 0-0000-0101.0	19 JAY STREET	MACKOWIAK DANIEL J	MACKOWIAK BONNIE L	19 JAY STREET	N GRAFTON	MA	01536	19864	34
035 0-0000-0102.0	21 JAY STREET SIDE	MACKOWIAK DANIEL J	MACKOWIAK BONNIE L	19 JAY STREET	N GRAFTON	MA	01536	19864	34
035 0-0000-0103.0	1 MARTIN DRIVE	GERRIE NORMAN	GERRIE DIANE	1 MARTIN DRIVE	N GRAFTON	MA	01536	32126	181
035 0-0000-0104.0	3 MARTIN DRIVE	PRIMMER MARYLOU A		3 MARTIN DRIVE	N GRAFTON	MA	01536	38166	34
035 0-0000-0105.0	5 MARTIN DRIVE	FOURNIER PAULA J		5 MARTIN DRIVE	N GRAFTON	MA	01536	36851	237
035 0-0000-0106.0	7 MARTIN DRIVE	BEAUREGARD JOHN	BEAUREGARD ANNE	7 MARTIN DRIVE	N GRAFTON	MA	01536	36706	378
035 0-0000-0107.0	9 MARTIN DRIVE	GALVIN, MATTHEW T	QUA, MACKENZIE ELIZABETH	9 MARTIN DRIVE	APT N GRAFTON	MA	01536	61301	360
035 0-0000-0111.0	8 MARTIN DRIVE	CHIBANI, LESLIE MAY		8 MARTIN DRIVE	N GRAFTON	MA	01536	60570	42
035 0-0000-0112.0	6 MARTIN DRIVE	BESHAI FRANK G	SMOLINSKI ELIZABETH A	6 MARTIN DRIVE	N GRAFTON	MA	01536	26203	393
035 0-0000-0113.0	4 MARTIN DRIVE	BAVOSI STEPHEN & KATHRYN	BAVOSI BRIAN	86 NORTH STREET	GRAFTON	MA	01519	45533	55
035 0-0000-0114.0	2 MARTIN DRIVE	SUGRUE DAMIAN J	SUGRUE AMY E	2 MARTIN DRIVE	N GRAFTON	MA	01536	30807	154
035 0-0000-0115.0	1 FRANCIS STREET	LARSEN PAUL M		1 FRANCIS STREET	N GRAFTON	MA	01536	43469	132
035 0-0000-0116.0	3 FRANCIS STREET	JONES ERNEST	JONES DIANE	3 FRANCIS STREET	N GRAFTON	MA	01536	8491	134
035 0-0000-0117.0	5 FRANCIS STREET	MALONE PHILIP J		5 FRANCIS STREET	N GRAFTON	MA	01536	21451	30
035 0-0000-0118.0	7 FRANCIS STREET	PIELESKI RICHARD A TRUSTEE	PIELESKI FAMILY TRUST	7 FRANCIS STREET	N GRAFTON	MA	01536	18899	377
035 0-0000-0119.0	9 FRANCIS STREET	DEWAR JAMES D	DEWAR LORI A	9 FRANCIS STREET	N GRAFTON	MA	01536	21681	177
035 0-0000-0153.0	23 JAY STREET	GRAFTON TOWN OF		30 PROVIDENCE ROAD	GRAFTON	MA	01519	40122	38